

CITY OF DAPHNE, ALABAMA
ORDINANCE 2026-02
(Amending Ordinance 2024-19)

**AN ORDINANCE TO AMEND THE TEXT OF THE ROWAN OAK PUD NARRATIVE FOR
PROPERTY LOCATED SOUTHWEST OF COUNTY ROAD 13 AND MILTON JONES ROAD**

WHEREAS, the real property pre-zoned and described in Ordinance 2024-19 has been annexed into the corporate limits of the City of Daphne and assigned a zoning designation of Planned Unit Development (“PUD”) upon annexation; and

WHEREAS, said real property is located Southwest of the intersection of County Road 13 and Milton Jones Road, being more particularly described as follows:

Legal Description for the Property:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 21, TOWNSHIP 5 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA AND RUN THENCE NORTH 00 DEGREES 19 MINUTES 24 SECONDS EAST, ALONG THE EAST LINE OF SAID SECTION 21, A DISTANCE OF 667.52 FEET; THENCE RUN NORTH 89 DEGREES 23 MINUTES 03 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A 1/2" CAPPED REBAR SET (CA-1167-LS) ON THE WEST RIGHT-OF-WAY OF COUNTY ROAD NUMBER 13 FOR THE POINT OF BEGINNING; THENCE DEPARTING SAID RIGHT-OF-WAY, CONTINUE NORTH 89 DEGREES 23 MINUTES 03 SECONDS WEST, A DISTANCE OF 1280.51 FEET TO A 1/2" CAPPED REBAR FOUND (MOORE); THENCE RUN NORTH 89 DEGREES 27 MINUTES 54 SECONDS WEST, A DISTANCE OF 667.54 FEET TO A 1/2" CAPPED REBAR FOUND (CA-0604-LS); THENCE RUN SOUTH 00 DEGREES 09 MINUTES 34 SECONDS EAST, A DISTANCE OF 661.03 FEET TO A 3/4" OPEN TOP PIPE FOUND; THENCE RUN NORTH 89 DEGREES 13 MINUTES 25 SECONDS WEST, A DISTANCE OF 247.59 FEET TO A 1/2" REBAR FOUND; THENCE RUN NORTH 00 DEGREES 46 MINUTES 35 SECONDS EAST, A DISTANCE OF 40.00 FEET TO A 1/2" CAPPED REBAR SET (CA-1167-LS) ON THE NORTH RIGHT-OF-WAY OF GLOVER LANE; THENCE RUN NORTH 89 DEGREES 13 MINUTES 25 SECONDS WEST, ALONG THE NORTH RIGHT-OF-WAY OF SAID GLOVER LANE, A DISTANCE OF 375.33 FEET TO A 1/2" CAPPED REBAR SET (CA-1167-LS) ON THE EAST RIGHT-OF-WAY OF FRIENDSHIP ROAD; THENCE RUN NORTH 00 DEGREES 14 MINUTES 02 SECONDS EAST, ALONG THE EAST RIGHT-OF-WAY OF SAID FRIENDSHIP ROAD, A DISTANCE OF 1003.65 FEET TO A 1/2" CAPPED REBAR FOUND (MOORE); THENCE DEPARTING SAID RIGHT-OF-WAY, RUN SOUTH 89 DEGREES 33 MINUTES 10 SECONDS EAST, A DISTANCE OF 253.20 FEET TO A 1/2" CAPPED REBAR FOUND (MOORE); THENCE RUN NORTH 00 DEGREES 10 MINUTES 23 SECONDS EAST, A DISTANCE OF 294.79 FEET TO A 1/2" CAPPED REBAR FOUND (MOORE) ON THE SOUTH LINE OF BUSINESS CENTER OF FRIENDSHIP ROAD SUBDIVISION, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED AT SLIDE 2090-C AND SLIDE 2090-D, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89 DEGREES 38 MINUTES 14 SECONDS EAST, A DISTANCE OF 147.62 FEET TO A 1/2" CAPPED REBAR FOUND (CA-0604-LS); THENCE RUN NORTH 00 DEGREES 07 MINUTES 58 SECONDS EAST, ALONG THE EAST LINE OF SAID SUBDIVISION, A DISTANCE OF 281.34 FEET TO A 1/2" CAPPED REBAR SET (CA-1167-LS) AT THE SOUTHEAST CORNER OF LOT 7 OF SAID SUBDIVISION; THENCE RUN NORTH 89 DEGREES 51 MINUTES 43 SECONDS WEST, ALONG THE SOUTH OF SAID LOT 7, A DISTANCE OF 400.21 FEET TO A 1/2" CAPPED REBAR FOUND (CA-0604-LS) AT THE SOUTHWEST CORNER OF SAID LOT 7 AND THE EAST RIGHT-OF-WAY OF THE FOREMENTIONED FRIENDSHIP ROAD; THENCE RUN NORTH 00 DEGREES 07 MINUTES 50 SECONDS EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 279.50 FEET TO A 1/2" CAPPED REBAR FOUND (CA-0604-LS) AT THE NORTHWEST CORNER OF LOT 6 OF SAID SUBDIVISION; THENCE DEPARTING SAID RIGHT-OF-WAY, RUN SOUTH 89 DEGREES 51 MINUTES 35 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 400.14 FEET TO A 1/2" CAPPED REBAR FOUND (CA-1167-LS) AT THE NORTHEAST CORNER OF SAID LOT 6; THENCE RUN NORTH 00 DEGREES 06 MINUTES 55 SECONDS EAST, ALONG SAID SUBDIVISION, A DISTANCE OF 750.83 FEET TO A 1/2" CAPPED REBAR FOUND (CA-0604-LS) ON THE SOUTH LINE OF A RESUBDIVISION OF LOTS 2 & 3 OF FRIENDSHIP PARK

SUBDIVISION, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED AT SLIDE 2422-C, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89 DEGREES 25 MINUTES 42 SECONDS EAST, ALONG THE SOUTH LINE OF SAID RESUBDIVISION OF LOTS 2 & 3 OF FRIENDSHIP PARK SUBDIVISION, A DISTANCE OF 635.09 FEET TO A 1/2" CAPPED REBAR FOUND (LS #10675) AT THE SOUTHWEST CORNER OF LOT 4 OF TRIONE TRACE SUBDIVISION, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED AT SLIDE 1594-A, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89 DEGREES 21 MINUTES 56 SECONDS EAST, ALONG THE SOUTH LINE OF LOT 4 OF SAID TRIONE TRACE SUBDIVISION AND A PROJECTION THEREOF, A DISTANCE OF 911.38 FEET TO A 5/8" CAPPED REBAR FOUND (CA-0568-LS); THENCE RUN NORTH 00 DEGREES 15 MINUTES 57 EAST, A DISTANCE OF 1328.23 FEET TO 1/2" CAPPED REBAR FOUND (ILLEGIBLE) AT THE SOUTHWEST CORNER OF LOT 4 OF BONI SUBDIVISION, AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 2055-E, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89 DEGREES 30 MINUTES 22 SECONDS EAST, ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 621.85 FEET TO A 1/2" REBAR FOUND ON THE AFOREMENTIONED WEST RIGHT-OF-WAY OF SAID COUNTY ROAD NUMBER 13; THENCE RUN SOUTH 00 DEGREES 08 MINUTES 04 SECONDS WEST, ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 1319.16 FEET TO A 1/2" CAPPED REBAR SET (CA-1167-LS); THENCE RUN SOUTH 00 DEGREES 19 MINUTES 24 SECONDS WEST, ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 2001.88 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 134.31 ACRES, MORE OR LESS.

WHEREAS, the PUD pre-zoning approval adopted through Ordinance 2024-19 included a PUD Narrative and Conceptual Plan governing development standards for the Property; and

WHEREAS, the owner has submitted an Amended PUD Narrative for review and approval, reflecting certain modifications to the previously approved PUD Narrative; and

WHEREAS, at its regular meeting of October 23, 2025, the Planning Commission considered the proposed amendments and issued a favorable recommendation to the City Council subject to the following regarding the multi-family units: the maximum units are to be 264; maximum building coverage for multi-family is 35%; and all multi-family units are to be located in Phase 6; and

WHEREAS, due notice of said proposed rezoning has been provided to the public as required by law through publication and open display at City Hall, and a public hearing was held before the City Council on January 5, 2026; and

WHEREAS, the City Council finds that the amendments to the PUD Narrative are appropriate, remain consistent with the intent and purpose of the PUD zoning district, and promote the public health, safety, and welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA, AS FOLLOWS:

SECTION I. AMENDMENT TO EXISTING PUD. The PUD Narrative approved by Ordinance 2024-19 is hereby amended to replace the previously adopted PUD Narrative with the Amended PUD Narrative, which is attached hereto as **Exhibit A** and incorporated herein by reference.

This exhibit shall constitute the governing development narrative for the PUD and shall supersede in full the prior PUD Narrative approved as part of Ordinance 2024-19.

All development of the subject property shall comply with the Amended PUD Narrative adopted herein and shall be further subject to the following conditions regarding the multi-family units: the maximum units are to be 264; maximum building coverage for multi-family is 35%; and all multi-family units are to be located in Phase 6.

SECTION II. REPEALER. All ordinances, resolutions, or parts thereof in conflict with this Ordinance, to the extent of such conflict, are hereby repealed.

SECTION III. SEVERABILITY. The provisions of this Ordinance are severable. If any section, clause, or provision is declared invalid or unconstitutional, such ruling shall not affect the remaining portions, which shall remain in full force and effect.

SECTION IV. EFFECTIVE DATE. This Ordinance shall take effect immediately upon its adoption and publication as required by law.

ADOPTED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA, THIS 20th day of January, 2026.



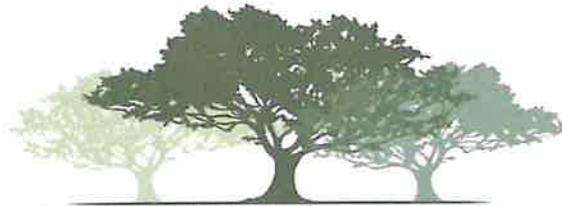
Robin LeJeune, Mayor

ATTEST:



Jessica Linne, Interim City Clerk

EXHIBIT A
Amended PUD Narrative
(attached)



ROWAN OAK

D A P H N E

PUD Statement and Narrative



A Planned Unit Development

Developer:

68Venturës

707 Bellrose Avenue
Daphne, AL 36526
251-625-1198

Engineer/ Surveyor:



9969 Windmill Road
Fairhope, AL 36532
251-990-6566

Landscape Architects:



WAS Design
218 N. Alston Street
Foley, AL 36535
251-948-7181

Traffic Engineer:



Neel Schaffer, Inc.
851 East I-65 Service Road
Suite 1000
Mobile, AL 36606
251-471-2000

Project Summary

Rowan Oak is a 134.31 acre, Mixed Use Planned Unit Development located between County Road 13 and Friendship Road at the Milton Jones Road intersection. The development includes Single Family Residential lots of various sizes, Townhomes, Multi-Family, and Commercial properties.

Intent

By combining the various land uses proposed in Rowan Oak, the developer hopes to promote a more efficient use of land relative to the location of public streets and natural features. The developer is partnering with the City of Daphne to provide a much-needed east-west connection from Friendship Road to County Road 13 by the extension of Milton Jones Road, with a Roundabout at the intersection of Milton Jones Road and County Road 13. The development goal is to provide diverse housing opportunities for citizens of differing economic levels, preferences, and/or stages of life.

Public / Private Benefits

The development of Rowan Oak provides several Public benefits to the Daphne Community including:

- 1) At the behest of the City of Daphne, donation by the Developer of land for an 80-foot public Right-of-Way (50 feet wide by others where necessary) to City of Daphne for the extension of Milton Jones Road from County Road 13 to Friendship Road¹, a value of \$214,200².
- 2) At the behest of the City of Daphne, donation by the Developer of sufficient Right-of-Way to City of Daphne to enable the installation of a Roundabout at the intersection of Milton Jones Road and County Road 13.
- 3) At the behest of the City of Daphne, Developer to coordinate and provide capital for surveying and engineering services for the Milton Jones Road extension, a value of \$144,500³.
- 4) Developer to provide Design and Construction of Improvements at the Intersection of Friendship Road and County Road 64. A value of \$300,000. See Exhibit 1 herein.
- 5) Donation by the Developer of a 1.8-acre parcel to City of Daphne for a public park, a value of \$95,000. ⁴
- 6) Construction by the Developer of two pickleball courts within the future public park, a value of approximately \$140,000. ⁵
- 7) Annexation of 11.61 acres of Commercial Property for a potential tax revenue of approximately \$535,821.71 annually.⁶

Total direct Public Benefit Value as a result of Developer's actions = \$893,700.

There are various Private benefits that will be realized as a result of this development, including:

¹ The Developer acknowledges that the City of Daphne is in no way obligated to construct or cause to be constructed any of the Milton Jones road extension and intersection improvements referenced herein, and that the construction by the City of Daphne of such improvements is contingent upon the availability of sufficient funds as determined solely by the City of Daphne.

² Based on valuation of \$35k/ AC x 6.12 AC

³ Based on Developer-executed proposal for surveying and design services of Milton Jones Rd. Extension with Southeast Civil Engineering in the amount of \$144,500.

⁴ Based on valuation of \$47.5k/ AC x 2 AC

⁵ Based on estimated construction cost of \$70k per pickleball court x 2 Quantity.

⁶ Estimated figure calculated based on data published in City of Daphne's 2022 Annual Comprehensive Financial Report

- 1) Providing improved direct access to a Public Road for the privately owned Commercial lots in Friendship Park Subdivision via the new Milton Jones Road Extension.

Land Use Summary

Of the 134.31-acre Rowan Oak property, the majority will be utilized for Single Family Residential Lots. The proposed uses are outlined below:

72' Lots	27.4 AC
52' Lots	29.9 AC
42' Lots	25.5 AC
Townhomes	16.3 AC
Multifamily	17.5 AC
Commercial	11.61 Acres
ROW Donation for Milton Jones Extension and Roundabout	6.12 Acres

Streets, Drainage and Utilities

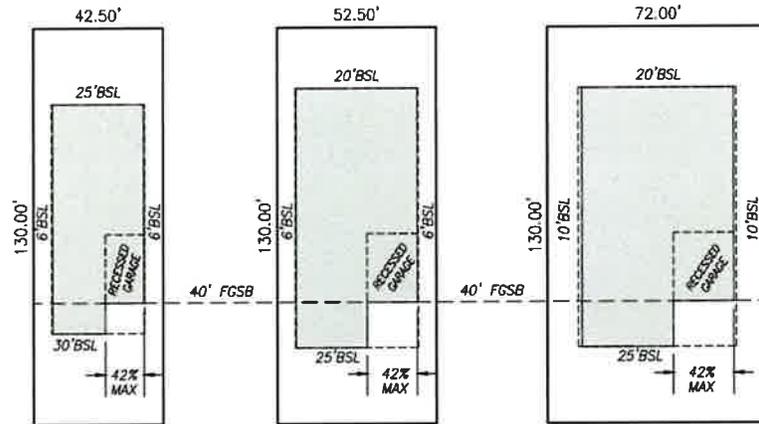
All streets and drainage will be designed to the current standards of the City of Daphne Land Use Ordinance. No deviations or variances will be requested. Traffic Calming is provided using Traffic Circles, Speed Tables, and Stop Signs. Utilities will be provided by Daphne Utilities (sewer), Belforest Water (water), Riviera Utilities (power), and AT&T (telephone).

Parking

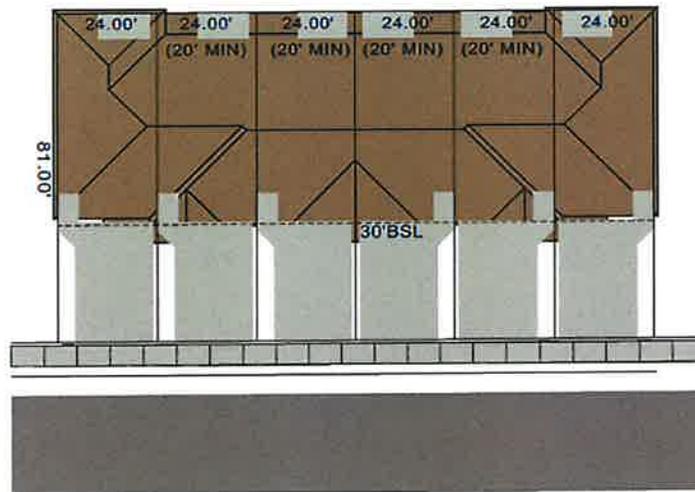
All Single-Family Residences will provide two spaces per house, with additional guest parking provided in strategic locations in the higher density neighborhood areas. Each Townhome unit will provide a garage plus two driveway spaces, with the addition of guest parking as required in the Land Use Development Ordinance. Multi-Family units will have two spaces per dwelling unit. Detailed plans have not been developed for the Commercial lots but any future Site Plans proposed will meet the current standards of the City of Daphne regarding parking.

Zoning Relaxations

In general, the various aspects of the Zoning Ordinance will be met in Rowan Oak in regards to Streets, Buffers, Parking and Open Space. However, the unique spatial characteristics of the various Lots proposed do not meet the specifics of the defined Zoning designations of the Land Use Ordinance. The Lots proposed and their related Building Setbacks are as follows:



Typical Single Family Lots



Typical Townhome Lots

Building Setbacks	
Front	30 Ft.
Rear	0 Ft.
Side	0 Ft.
Side Street	20 Ft.

Amenities

Various amenities are included in the Rowan Oak development plan within an overall 29.6 acres of open space. Open areas with trails, water features and a public park with two pickle ball courts are proposed in the Single-Family areas. A pool and cabana are proposed in the Townhome section next to two open play

areas and a water feature. The Multi-Family portion will include a clubhouse, pool, two pickle ball courts, and a water feature.

Architectural Themes

- I. Building materials including brick, stone, textured traditional cement stucco (i.e., real stucco) and cement siding are required as the primary veneer on new dwellings.
- II. Roofs must be varied in roofline treatments.
- III. The front facing garage (i.e., garage fronts) on single family homes shall be recessed and constitute not more than forty-two percent (42%) of the residential facade (as measured from the outside edge of garage doors, not including the frame).
- IV. Recessed garage doors oriented toward the front property line shall be as follows:
 - a. Garage doors must be positioned between five (5) feet and twenty (20) feet behind the front wall plane of the house. The front wall plane is defined as the principal building façade facing the primary street right of way.
 - b. The minimum front yard setback for said garage shall be forty (40) feet.
 - c. The minimum front yard setback for the principal structure may be reduced to twenty (20) feet.
 - d. The 42.5' foot lots will be subject to the 5' recessed garage requirement except for the Bluewater plan/elevations as submitted.
- V. The side-street facing garage setback shall be a minimum of twenty-two (22) feet from the sidewalk and recessed three (3) feet behind the side facade
- VI. Where the garage is located at the rear of the primary structure, the front yard setback shall be reduced to fifteen (15) feet, or ten (10) feet with an open air front porch.
- VII. Colored elevations shall illustrate that a minimum of three (3) different elevations are provided in each block face.
- VIII. Developments of thirty-five (35) dwelling units or more should offer a minimum of five (5) different elevations and ten percent (10%) of each respective elevation shall be provided in each block face.

Additional Stipulations

- i. The use of vinyl siding shall be limited to fascia and soffits.
- ii. Minimum Building Setbacks for Single Family Detached Homes shall be as follows:
 - a. Front Setbacks for the 42.5' lots shall be 30 feet.
 - b. Rear Setbacks for the 42.5' lots shall be 25 feet.
 - c. Front Setbacks for the 52.5' lots shall be 25 feet.
 - d. Rear Setbacks for the 52.5' lots shall be 20 feet.
 - e. Front Setbacks for the 72' lots shall be 25 feet
 - f. Rear Setbacks for the 72' lots shall be 20 feet.
 - g. Side Setbacks for the 72 foot wide Lots shall be 10 feet.
 - h. Side Setbacks for the 42.5 foot wide and 52.5 foot wide Lots shall be 6 feet.
 - i. Side Street Setbacks for the 42.5 foot wide and 52.5 foot wide Lots shall be 15 feet.
 - j. Side Street Setbacks for the 72 foot wide Lots shall be 20 feet.
 - k. The 42.5' lots shall include a 2-car wide driveway (minimum width of 16 ft).

- iii. Minimum Building Setbacks for Townhomes shall be as follows:
 - a. Front Setbacks shall be 30 feet.
 - b. Side and Rear Setbacks shall be 0 (zero) feet
 - c. Side Street Setbacks shall be 20 feet.
 - d. Minimum Spacing between buildings shall be 24 feet with spacing between eaves being a minimum of 20 feet.
- iv. Developer responsibility for traffic improvements will be limited to the following, per the Traffic Impact Study conducted by Neel Schaffer:
 - a. The northbound approach of Friendship Road to County Road 64 will be widened to provide a dedicated left turn lane within the existing Right-of-Ways. In the event the proposed northbound left turn lane will require additional Right-of-Way may limit the ability of constructing the proposed turn lane improvements if additional Right-of-Way can't be acquired. See Exhibit 1, herein.
- v. Access points and unit density are limited to counts provided in the proposed plan.
- vi. Developer reserves the right to alter the proposed phasing plan and change the order of construction from the proposed plan at a later date.
- vii. Rowan Oak PUD will be subject to City of Daphne Land Use & Development Ordinance, with latest codifications dated 01/12/2024, including all subsequent Plats, Phases, and Building Permits.
- viii. Non jurisdictional grady ponds to be filled in as a part of development.
- ix. Commercial property to be site-planned at a later date, subject to City of Daphne Land Use & Development Ordinance. Traffic studies to be conducted at time of development and any improvements, as applicable, to be constructed at time of development.
- x. Commercial land uses shall be consistent with the B-2, General Business, district as provided in the City of Daphne Land Use & Development Ordinance with latest codifications dated through 01/12/24 except that the following uses shall not be permissible in the Rowan Oak PUD:
 - Adult entertainment or adult/sex retail sale facilities;
 - Jail facilities, housing of detainees or inmates, community correction facilities of any kind



EXHIBIT 1
Intersection Improvements by Developer
At Friendship Rd. and County Rd. 64



PUD Amendment

Proposed Amendment to PUD Statement and Narrative

The following outlines the proposed changes to the Rowan Oak Planned Unit Development (PUD) Narrative:

Reduction and Reallocation of Density

The Developer proposes reallocating density from the Townhome portion of the Approved PUD (Phases 4 & 5) and Single-Family portion (Phases 1 & 2) to the Multifamily portion of the PUD (Phase 6). The proposed change would reduce the Townhome and Single-Family lots and reduce the overall density of the PUD by 40 units (6.8%).

Reduction and Reallocation of Density		
	Approved Units	Proposed Units
Hamlet (SF)	249	192
Faulkner's Place (TH)	132	89
Sanctuary (MF)	204	264
Overall	585	545
Net Reduction		40

Revisions to Lot Types by Section

The Hamlet

- Proposing to remove the 42.5' & 52' lots.
- Proposed layout to be comprised of 62' and 72' lots.
- Proposed lot count is 192 lots, a reduction of 57 lots.
- Request to reduce the side setback from 10' to 6' on the 72' lots to accommodate Truland courtyard-garage style floorplans. Homes on the 72' lots will be required to have gutters.
- Recreational vehicles and campers shall not be parked or stored on any Lot. Boats and utility trailers, if desired to be kept on property, shall be parked fully enclosed within garages.

Faulkner's Place

- Proposing to move from attached to detached Townhome product.
- Proposing to increase lot size to 33'x 105'.
- Proposing to reduce unit count from 132 attached to 89 detached, a reduction of 43 units.
- Proposing new Elevations & Floorplans
- Setbacks and minimum spacing will be the following:
 - Front – 30'
 - Rear – 0'
 - Side – 10' / 0'
 - Side Street – 15'

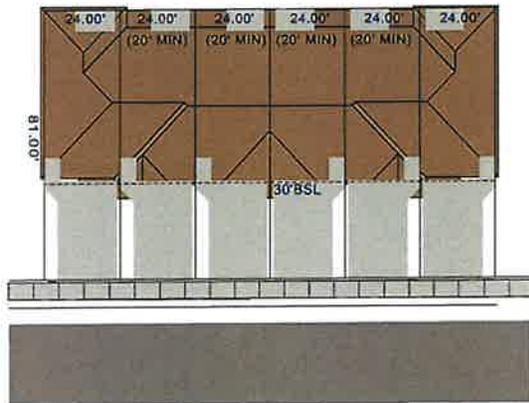
Proposed Conceptual Multifamily Site Plan



Multifamily units are to be 264 maximum, and all located in Phase 6. Maximum building coverage is 35%.

Townhome Lot Typicals

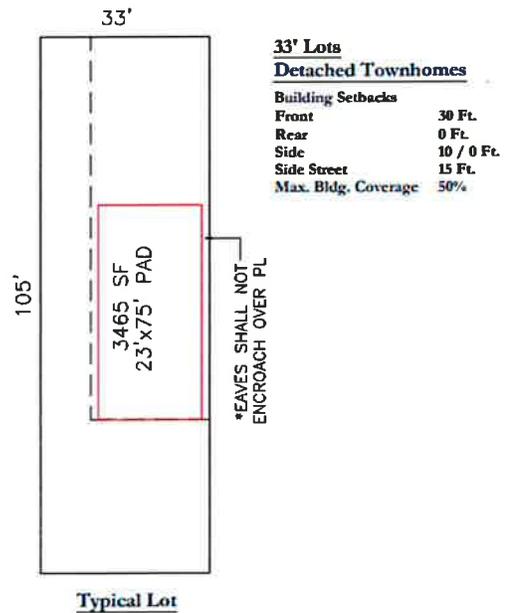
Approved Lot Typicals



Typical Townhome Lots

Building Setbacks	
Front	30 Ft.
Rear	0 Ft.
Side	0 Ft.
Side Street	20 Ft.

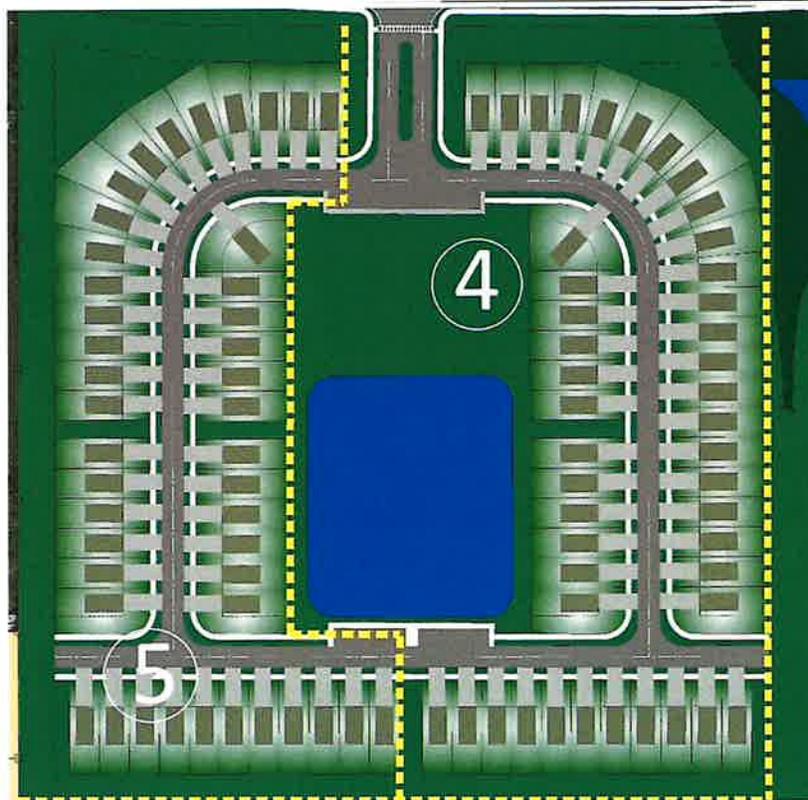
Proposed Lot Typical

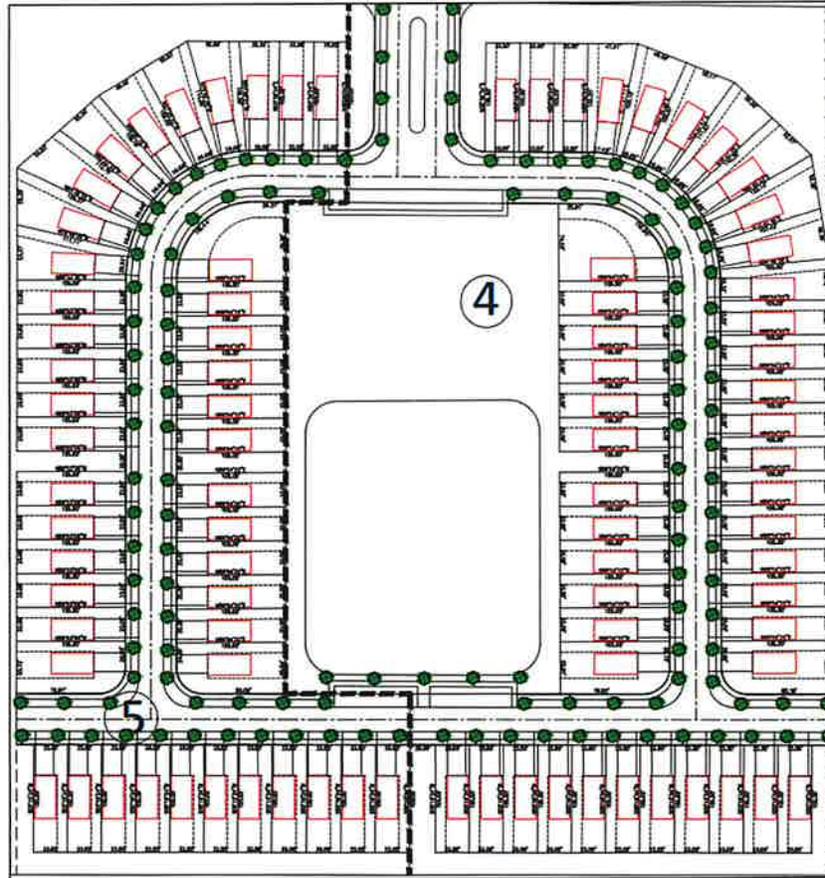


Approved Phase 4 & Phase 5 Layout



Proposed Phase 4 & Phase 5 Layout



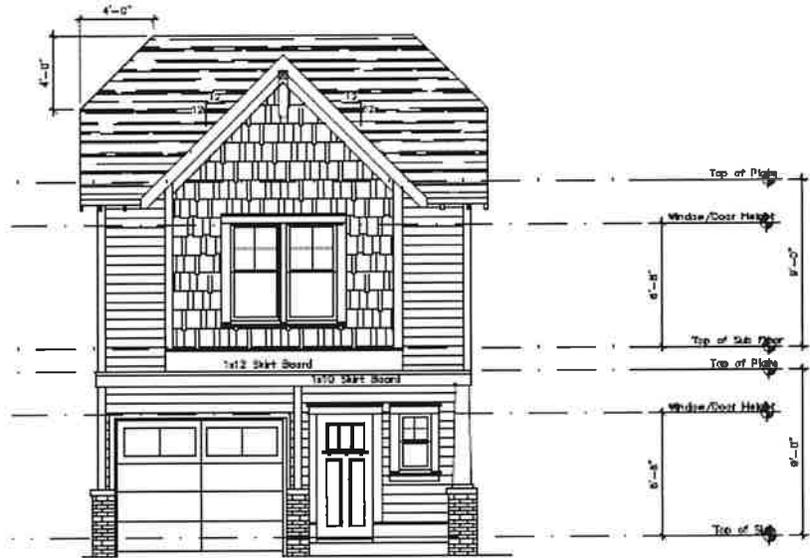


Elevations

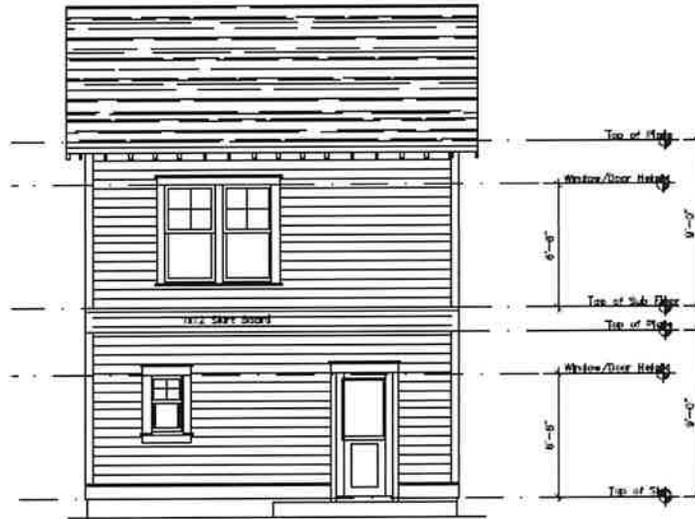




MATERIALS LEGEND	
①	Hardi Shake Siding
②	1x6 Corner Board
③	Horizontal Lap Siding
④	Architectural Asphalt Shingles
⑤	Brick Veneer ☉ Front only

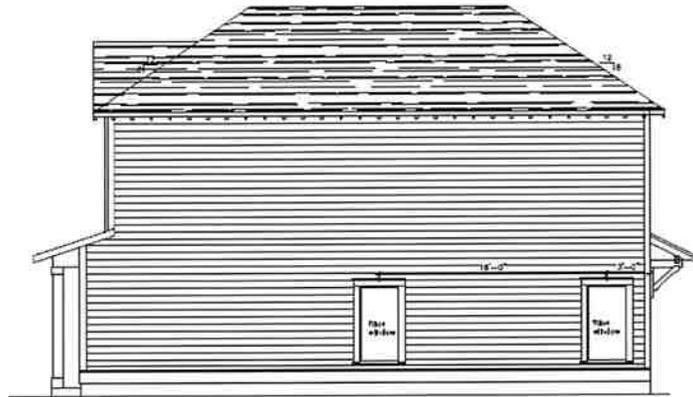


① Front Elevation
A.S.1 1/4" = 1'-0"

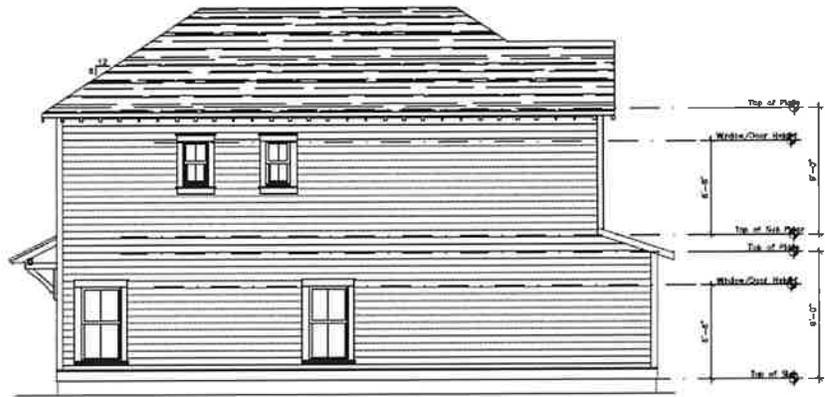


② Rear Elevation
A.S.1 1/4" = 1'-0"

MATERIALS LEGEND	
①	Board & Batten @ 16" OC
②	1x6 Corner Board
③	Horizontal Lap Siding
④	Architectural Asphalt Shingles



① Right Side Elevation
A3.2 1/4" = 1'-0"

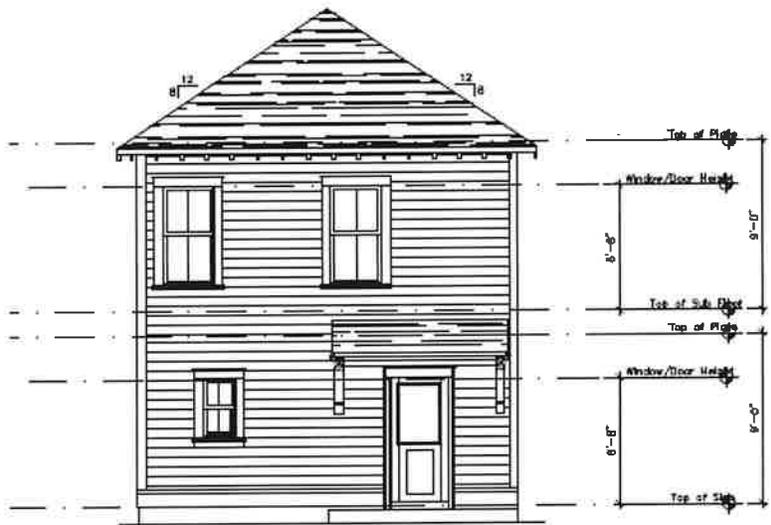


② Left Side Elevation
A3.2 1/4" = 1'-0"

MATERIALS LEGEND	
①	Board & Batten @ 16" OC
②	1x6 Corner Board
③	Horizontal Lap Siding
④	Architectural Asphalt Shingles

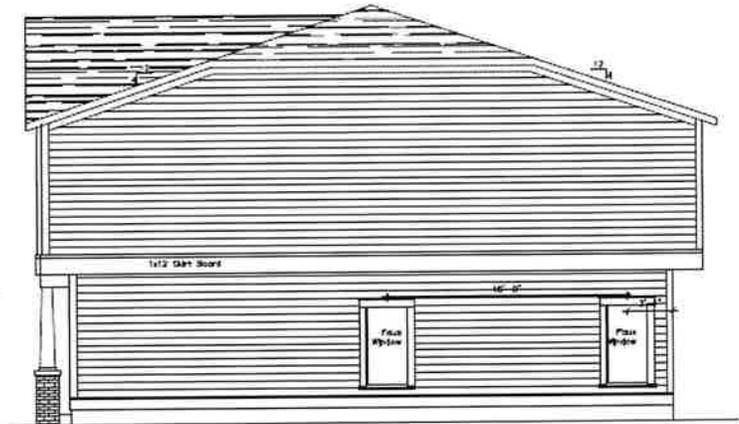


① Front Elevation
A3.1 1/4" = 1'-0"



② Rear Elevation
A3.1 1/4" = 1'-0"

MATERIALS LEGEND	
①	Hardi Shake Siding
②	1x6 Corner Board
③	Horizontal Lap Siding
④	Architectural Asphalt Shingles
⑤	Brick Veneer ⊗ Front only



① Right Side Elevation
A3.2 1/4" = 1'-0"



② Left Side Elevation
A3.3 1/4" = 1'-0"



56'-0"



